

SECTION 00 10 00 - REQUEST FOR BIDS

Bids are requested by **Seneca Township High School District No. 160, Seneca, Illinois 61360 for 2025 – Land Lab Building and Site Improvements at Seneca Agricultural Land Lab.** Work is to be carried out in accordance with Bidding Documents prepared by BCA Architects, Ltd., 620 West Lafayette Street, Ottawa, Illinois 61350.

Project Description: The project consists of construction of a 60' x 120' pre-engineered composite wood column, wood framed structure with metal siding and metal roofing systems. Site improvements include excavations and fill to accommodate new building. Project consists of gravel parking lot expansion to the west of the existing parking lot and additional work as indicated.

Contract Type: Single prime lump sum contract.

Submission of Bids: Bids will be accepted until **10:00 a.m., March 11, 2025.** Bids shall be delivered to the Main Office at Seneca Township High School, 305 East Scott Street, Seneca, Illinois 61360. All bidders shall enter the building through the main entrance on the south side of the building; a district official will escort the bidder to the appropriate location. Bids will be publicly opened at that time.

Pre-Bid Conference: **February 26, 2025, at 10:00 a.m. at Seneca Agricultural Land Lab.** The site will be available for viewing on this date. Owner reserves the right to disqualify bidders that do not complete a site visit. Additional visits will be at the convenience of the Dan Stecken, Superintendent (815-357-5070) call to schedule visits other than pre-bid conference. Site visits that are not pre-arranged with the school district representative will not be permitted.

Availability of Bidding Documents: Bidding Documents will be available on and after **February 20, 2025** and may be examined/obtained at the Architect's online Plan Room at www.bca-architects.com; Greater Peoria Contractors & Supplier Association, 1811 West Altorfer Drive, Peoria, IL 61615; Illinois Valley Contractor's Association, 1120 First St., LaSalle, IL; Contractors Association of Will & Grundy Counties, 233 N. Springfield Ave., Joliet, IL.

Stipulations: Bid security in the amount of five percent (5%) of the Base Bid amount proposed, in the form of a certified check or cashier's check made payable to the Owner, or a Bid Bond, must accompany bids.

Bid security in the amount of five percent (5%) of the Base Bid amount proposed, in the form of a certified check or cashier's check made payable to the Owner, or a Bid Bond, must accompany bids.

Selected bidder is required to provide a satisfactory performance bond and labor & material payment bond covering the full performance of the contract. The costs of the bonds are to be included in each contractor's bid proposal.

Selected Bidders must assure that all persons employed by Bidder, and all applicants for such employment, will not be discriminated against because of their race, creed, color, sex, age or national origin.

Selected bidder will be required to provide documentation of participation in apprenticeship and training programs approved and registered with the United States Department of Labor's Bureau and Apprenticeship and training.

The contractor shall be required to comply with all provisions of the acts of the General Assembly of the State of Illinois related to Wage Rates, Discrimination, Sexual Harassment, Alcohol Use, Preference to Illinois Workmen, Fair Employment Practices Commission, and Equal Employment Opportunity. The Contractor shall be required to comply with the Substance Abuse Prevention on Public Works Act (Public Act 95-0635).

Contractor shall not pay less than the prevailing rates of wages as determined by the Illinois Department of Labor to all laborers, workmen and mechanics performing work under this contract, and shall comply with the requirements of the Illinois Prevailing Wage Act (820 ILCS 130/1-12). All Contractor's bonds shall include a provision as will guarantee the faithful performance of such prevailing wage clause as provided by this bid specification or contract.

Additional information and bidder requirements are included in the Instructions to Bidders and the Bid Documents.

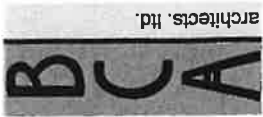
No Illinois O.E. sales tax will be required for this work.

Owner reserves the right to reject any and all Bids, to waive any irregularities in the Bidding, and to award contract in Owner's best interests.

Board of Education
Seneca Township High School District No. 160
Seneca, Illinois 61360

END OF SECTION 00 10 00

NO.	REVISION	DATE

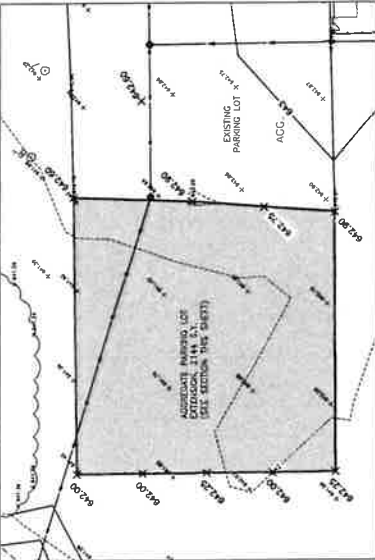


620 W. Lafayette Street
Chicago, Illinois 60605
PH 815/434-0108

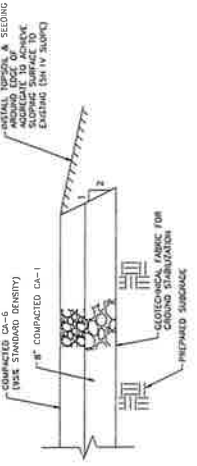
2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
FOR
SENECA AGRICULTURAL LAND LAB
SENECA TOWNSHIP HIGH SCHOOL DISTRICT NO. 120
SENECA, ILLINOIS 61340

DATE	
BY	
CHECKED	
DRAWN	
PROJECT	2025
SCALE	
DATE	

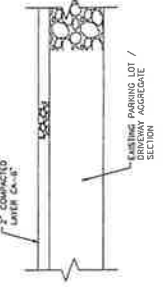
C4.0
DETAILS



ALTERNATE 2 - AGGREGATE PARKING LOT EXTENSION
PLAN VIEW

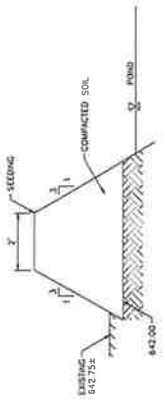


AGGREGATE PARKING LOT EXTENSION DETAIL
(ALTERNATE 2, ONLY)

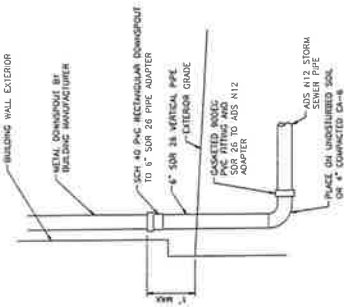


AGGREGATE SECTION REPAIR DETAIL

- FOR PARKING LOTS, RE-CORSE EXISTING SECTION AS NECESSARY TO MATCH EXISTING DRIVEWAY AND SURROUNDING DRIVEWAY.
- FOR DRIVES, INSTALL 2" CA-6 LAYER AND SHAPE TO DRAIN TO DRIVE EDGES.
- COMPACTION SHALL BE ACHIEVED VIA VIBRATORY STEEL DRUM ROLLER TO SATISFACTION OF THE ENGINEER.



POND BERM DETAIL



DOWNSPOUT TO STORM SEWER
CONNECTION DETAIL

REVISIONS	DATE

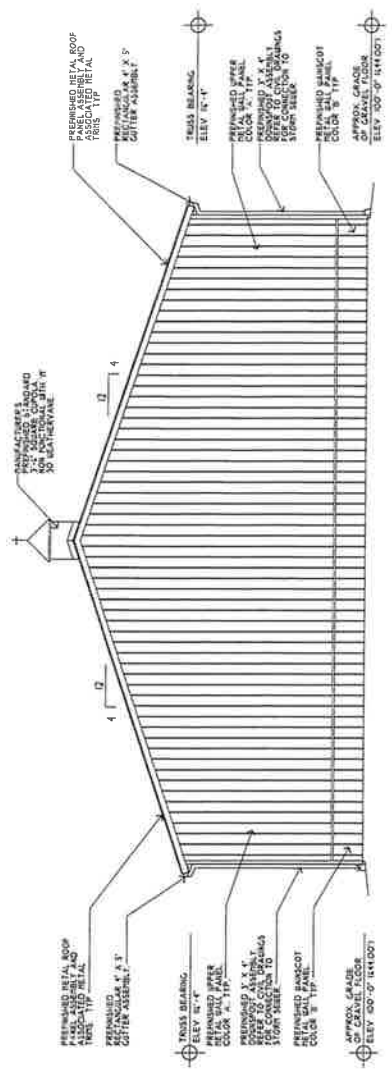


bca-architects.com
 820 W. Lafayette Street
 Chicago, Illinois 61530
 P | 815.434.0108

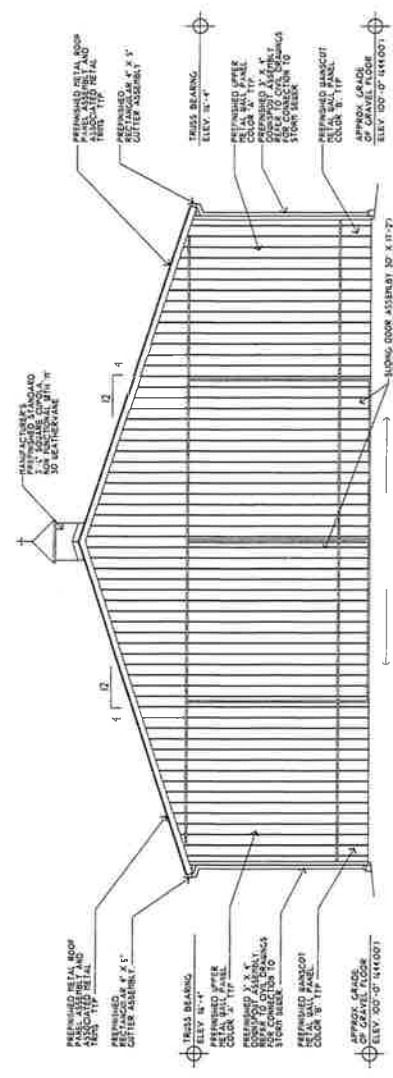
2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
 FOR
 SEMECA AGRICULTURAL LAND LAB
 SEMECA TOWNSHIP HIGH SCHOOL DISTRICT NO. 140
 SEMECA, ILLINOIS 61540

DATE	2/20
ISSUE	02/20
PROJECT	2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
ARCHITECT	BCA ARCHITECTS, LLC
SCALE	1/8" = 1'-0"
SHEET	A2.1
TOTAL SHEETS	10

BCA ARCHITECTS, LLC
 820 W. LAFAYETTE STREET
 CHICAGO, ILLINOIS 60607
 TEL: 815.434.0108
 FAX: 815.434.0109
 WWW.BCA-ARCHITECTS.COM



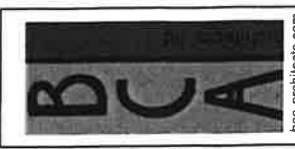
2 WEST ELEVATION
 3/8" = 1'-0"



3 EAST ELEVATION
 3/8" = 1'-0"

Copyright © BCA Architects, LLC 2025

REV	DATE



bca-architects.com
 620 W. Lafayette Street
 Chicago, Illinois 61350
 P: 815.434.0108

2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
 FOR
 SENECA AGRICULTURAL LAND LAB
 247 E. 28TH ROAD
 SENECA, ILLINOIS 62510

DATE	
SCALE	
PROJECT NO.	
DATE	
SCALE	
PROJECT NO.	
DATE	
SCALE	
PROJECT NO.	
DATE	

A3.0
 SECTIONS / SCHEDULES

DOOR AND FRAME SCHEDULE

NO.	TYPE	DATE	NO.	TYPE	DATE	NO.	TYPE	DATE
1								
2								
3								
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19								
20								
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								

GENERAL DOOR AND FRAME NOTES

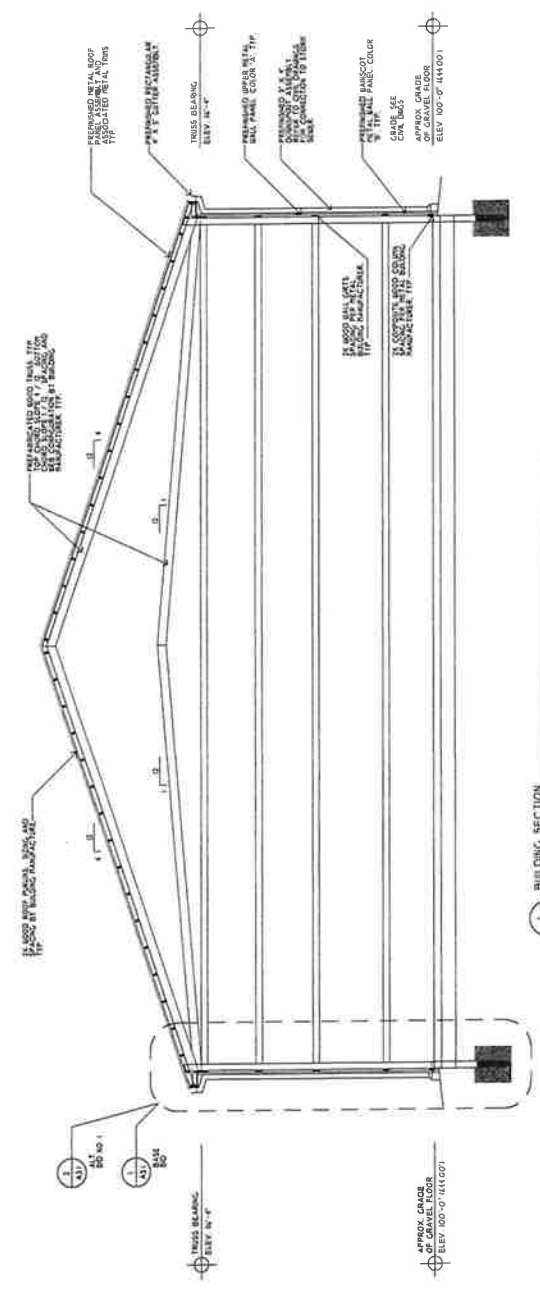
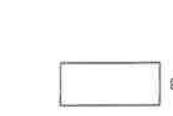
A. FIELD VERIFY ALL OPENING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK

B. CHECK ALL JOINTS BETWEEN FRAME/PANEL AND HEAD/THRESHOLD

1. FRAME TYPE
 3/4" x 1-1/2"

2. DOOR TYPE
 3/4" x 1-1/2"

3. BUILDING SECTION
 3/4" x 1-1/2"



1. BUILDING SECTION
 3/4" x 1-1/2"

GENERAL NOTES

- The Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022, and the Illinois Department of Water & Sewer Construction in Illinois' 2020 and the Illinois Plumbing code shall govern applicable portions of this project.
- It shall be the responsibility of the Contractor to examine the Plans and Specifications, visit the work site, be informed of the work involved, be informed of federal, state, and local laws, local code requirements, ordinances, rules and regulations, and any other items which may affect the cost and/or time to complete the project. It is the Contractor's responsibility to notify the Engineer should any discrepancies be noticed between the Plans, Specifications, or worksite.
- The location of existing underground or overhead utilities if shown on the Plans is for the convenience of the Contractor only. The Owner and/or Engineer assumes no responsibility whatsoever with respect to the accuracy or completeness of the information shown. It shall be the responsibility of the Contractor to determine the actual location of all such utilities.
- The Contractor shall be responsible for the proper protection of all existing public or private roadways, structures, and utilities prior to the start of construction and shall be responsible for any damage to said roadways, structures, and utilities. Any roadway, structure, or utility that is damaged during construction shall be repaired or replaced by the Contractor at the Contractor's expense.
- All field drainage tile damaged during construction shall be repaired to the satisfaction of the Engineer or resouted to a location determined by the Engineer. Payment will be made for tile repairs via force-account.
- Survey control points may be set by the Engineer to establish the horizontal and vertical control required for the construction of the various contract items of work. The Engineer shall be responsible for the accuracy of the control points set. The Contractor shall assume full responsibility for all measurements taken or derived by the Contractor from control points set by the Engineer.
- The Contractor shall protect and preserve all control points or reference stakes set by the Engineer. Should the Contractor disturb any control point or reference stake without the prior approval of the Engineer, the Engineer may deduct the direct cost of any cost incurred in the re-establishment of the control point or reference stake from compensation due the Contractor.
- When the Owner employs multiple Contractors, each Contractor shall conduct his/her work so as to not interfere with or hinder the progress or completion of the work being performed by other Contractors and/or Utility Companies.
- Each Contractor shall assume all liability, financial or otherwise, in connection with his/her contract and shall protect and hold harmless the Owner and Engineer from any and all damages or claims that may arise due to inconvenience, delay, or loss experienced by the Contractor caused by the presence and operation of other Contractors and/or Utility Companies working within the limits of the project.
- Traffic control shall be in accordance with applicable portions of the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022 and the latest edition of the "Illinois Manual for Uniform Traffic Control Devices for Streets and Highways". The Contractor shall be solely responsible for use of appropriate Illinois Department of Transportation Highway Standards pertaining to traffic control for the entire duration of the project and safety liable for any accidents, which may occur due to inadequate traffic control.
- All roadways shall remain open throughout the project unless prior consent is granted by the Owner for any Contractor-requested roadway closures. The Contractor shall make arrangements or schedule work so that access to properties within the work site is maintained at all times.
- Soil erosion and sediment control shall be in accordance with applicable portions of the Illinois Urban Manual current edition.
- Provisions shall be made to minimize the transport of sediment by vehicular traffic from the construction site. All streets shall be cleaned daily or as necessary to keep clean of sediment and debris caused by construction activities. Adjacent properties shall be protected from sediment deposition by use of an acceptable erosion control practice such as vegetative buffer strips or sediment barriers.
- For construction sites with one (1) acre or more of disturbance, all Contractors and Sub-Contractors will be required to certify a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, if necessary, and all permits pertaining to soil and erosion control will be prepared and submitted by the Owner/Engineer.
- It will be the Contractor/Sub-Contractor's responsibility to implement and follow the SWPPP.
- The Engineer shall provide construction inspection to ascertain the work is in substantial conformance with the Contract Documents and with the design intent. The Engineer's undertaking shall not relieve the Contractor from the Contractor's obligation to perform work in conformity with the Plans and Specifications and in a workmanlike manner; shall not make the Engineer's performance the basis for any claim against the Contractor, and shall not impose upon the Engineer any obligation to ensure that the work is performed in a safe manner. The Contractor shall be totally responsible for safety for this project.
- Disposal of demolition and excess excavated material shall be in accordance with the "Clean Construction or Demolition Debris" (CCDD) requirements. It will be the contractor's responsibility to arrange the necessary testing for any CCDD material. This cost will be considered incidental to the contract.

TOPO SURVEY NOTES

- Existing conditions are based on topo survey performed by Chamlin & Associates in October 2024.
- The Contractor shall verify all existing conditions in the field.
- Basis of Bearing: Grid North of Illinois State Plane Coordinate System, East Zone
- Vertical Datum: NAVD 88 (GPS Obtained)

AGGREGATE SURFACE COURSE

Areas designated on Plans shall have aggregate surface course installed in accordance with details shown on the Plans. Aggregate Surface Course Type B shall be in accordance with Section 402 of the IDOT Standard Specifications. Material allowed shall be IDOT Gradation CA-6, crushed limestone only.

TURF RESTORATION

Any disturbed areas not designated to receive impervious surface finishment or landscaping shall receive 6" topsoil and seeding as follows. Seeding shall be Class 1A in accordance with Section 250 of the IDOT Standard Specifications. Ratio of N-P-K fertilizer shall be applied at a total rate of 270 LB per acre in accordance with Section 256. Mutch shall be Method 2, mechanically stabilized in accordance with Section 251.

Disturbed areas shall include all bare soils as well as any areas that have been disturbed by incidental construction operations that will require regrading and/or interlocking. Seeding shall be applied to all areas to be regraded from onsite stockpiles generated from construction of from tested offsite source. Topsoil shall be placed in accordance with Sections 211 and 212 and seeded shall be prepared in accordance with Section 250.

STORM SEWERS

Storm sewers shown on Plans shall be constructed in accordance with IDOT Section 550. Materials shall be as noted on the Plans. All ADS fittings shall be gasketed in accordance with ASTM F477. Trench backfill shall be installed in pipe trenches under and within 2' of all aggregate drives and parking areas. Trench backfill shall be compacted CA-7 stone.

BUILDING PAD PREPARATION

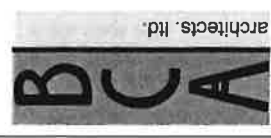
Building footprint shall be stripped of all topsoil, subgrade then prepared in accordance with IDOT Section 205, then built up to final elevation using 8" compacted lifts of CA-6 stone. Topsoil thickness measurements are shown on Plans.

REVISED		DATE

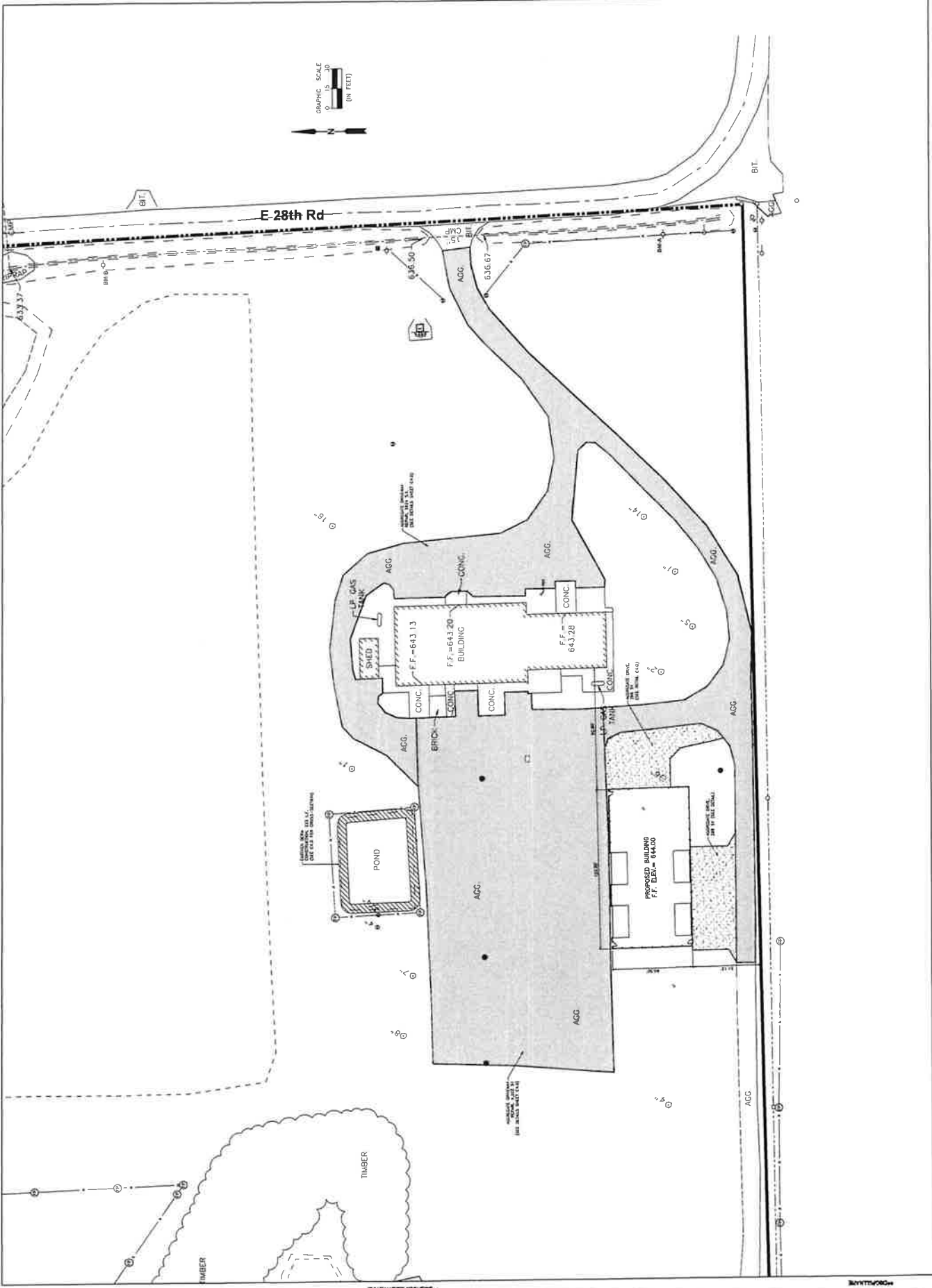
NOTES
C.I.O.

2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
FOR
GENECA AGRICULTURAL LAND LAB
2417 E 28TH ROAD
GENECA ILLINOIS 61501

620 W. Lafayette Street
Ottawa, Illinois 61350
PI 815.494.0108



© Chamlin & Associates, Ltd. 2024



REVISION	DATE

BCA
architects, ltd.

620 W. Lafayette Street
Chicago, Illinois 60650
P: 915.834.0108

2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
FOR
SENECA AGRICULTURAL LAND LAB
2471 E. 28TH ROAD
SENECA, ILLINOIS 61840

DATE	BY	CHECKED	DATE

FOR THE PROJECT
NO. 2025-001
DATE: 01/14/2025
PROJECT: 2025-001
SHEET: 01

C2.0
DIMENSIONAL LAYOUT

REVISION	DATE

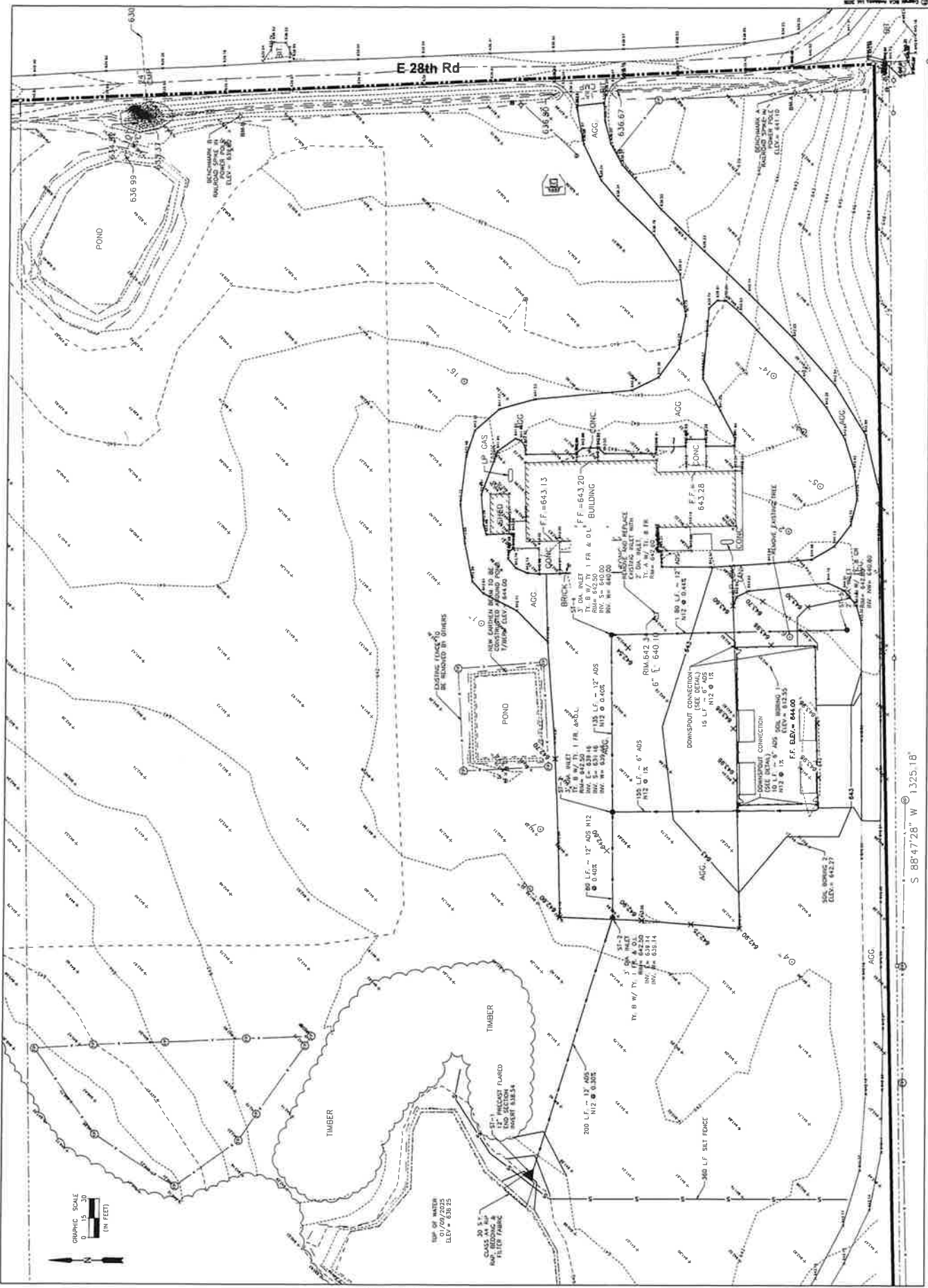


620 W. Lafayette Street
 Ottawa, Illinois 61350
 PI 815.434.0108

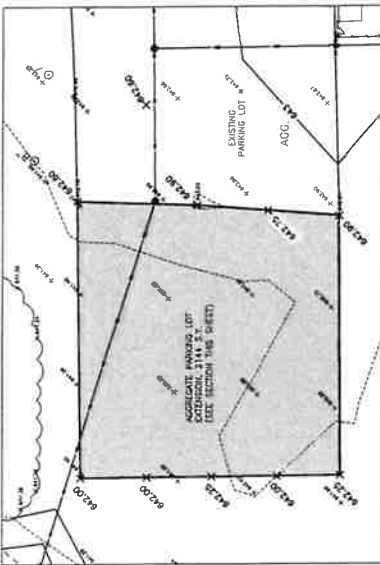
2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
 FOR
 SENECA AGRICULTURAL LAND LAB
 SENECA TOWNSHIP HIGH SCHOOL DISTRICT NO. 140
 2471 E. 28TH ROAD
 SENECA, ILLINOIS 61360

DATE	BY	CHKD BY	DATE

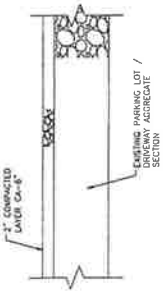
C3.0
 GRADING & DRAINAGE



S 88°47'28" W 1325.16'

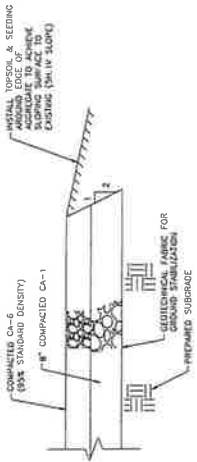


ALTERNATE 2 - AGGREGATE PARKING LOT EXTENSION
PLAN VIEW

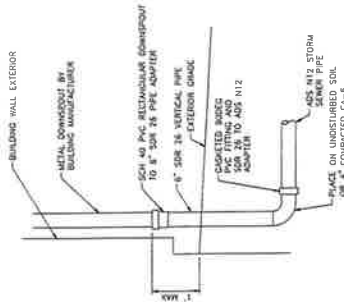


AGGREGATE SECTION REPAIR DETAIL

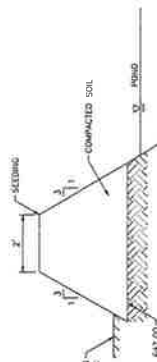
- FOR PARKING LOTS, RE-GRADE EXISTING SECTION AS NECESSARY TO MATCH EXISTING DRIVEWAY AND SMOOTHLY MATCH SPOT GRADIES SHOWN ON PLAN SHEET.
- FOR DRIVE, INSTALL 2" CA-6 LAYER AND SHAPE TO DRUM TO DRIVE EDGES.
- COMPACTION SHALL BE ACHIEVED VIA VIBRATORY STEEL DRUM ROLLER TO SATISFACTION OF THE ENGINEER.



AGGREGATE PARKING LOT EXTENSION DETAIL
(ALTERNATE 2 ONLY)

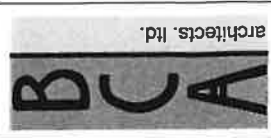


DOWNSPOUT TO STORM SEWER
CONNECTION DETAIL



POND BERM DETAIL

REVISION	DATE



820 W. Lafayette Street
Olathe, Illinois 61350
P | 815.434.0108

2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
FOR
GENECA AGRICULTURAL LAND LAB
GENECA TOWNSHIP HIGH SCHOOL DISTRICT NO. 160
2471 E. 28TH ROAD
GENECA, ILLINOIS 61340

DATE	
DESIGNED	
CHECKED	
DRAWN	
SCALE	
PROJECT NO.	
DATE	
APP. NO.	
DATE	
APP. NO.	
DATE	
APP. NO.	

C4.0

DETAILS



bca-architects.com
 820 W. Lafayette Street
 Champaign, Illinois 61830
 P: 815.434.0108

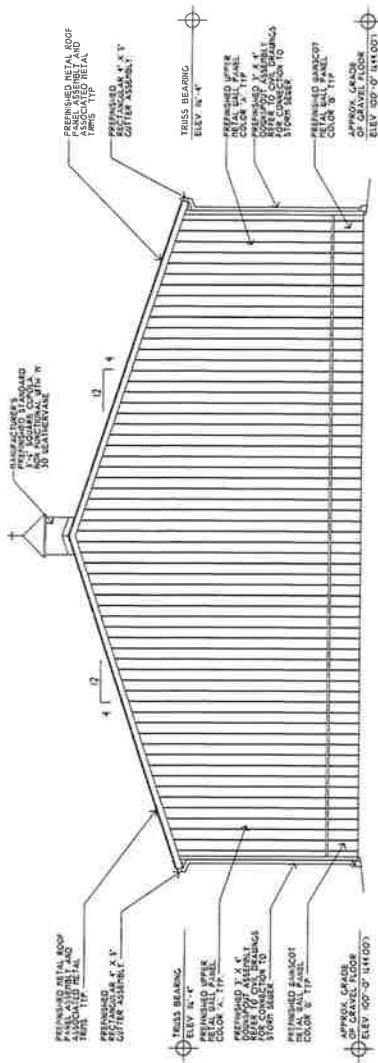
2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS

FOR
 SENECA AGRICULTURAL LAND LAB
 SENECA TOWNSHIP HIGH SCHOOL DISTRICT NO. 10
 247 E 28TH ROAD
 SENECA, ILLINOIS 61340

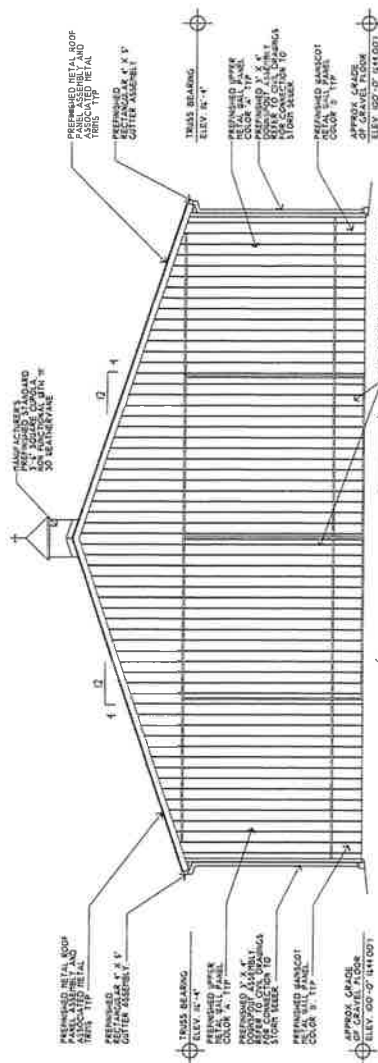
DATE	
BY	
SCALE	
PROJECT NO.	
DATE	
BY	
SCALE	

A2.1

BUILDING ELEVATIONS



1 WEST ELEVATION
 3/4" = 1'-0"



1 EAST ELEVATION
 3/4" = 1'-0"

Copyright BCA Architects, Ltd. 2025

DATE	
BY	
SCALE	
PROJECT NO.	
DATE	
BY	
SCALE	

REVISIONS	DATE



bca-architects.com
 820 W. Lafayette Street
 Chicago, Illinois 61890
 P | 815.434.0108

2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS
 FOR
 SENECA AGRICULTURAL LAND LAB
 2471 E. 28TH ROAD
 SENECA, ILLINOIS 61810

DRAWN
CHECKED
DATE
FEBRUARY 6, 2025
SCALE
AS SHOWN
TITLE
SHEET

A3.0
 SECTIONS / SCHEDULES

DOOR AND FRAME SCHEDULE

NO.	TYPE	SIZE	FINISH	MARK
1-01	A	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-01
1-02	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-02
1-03	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-03
1-04	A	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-04
1-05	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-05
1-06	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-06
1-07	A	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-07
1-08	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-08
1-09	A	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-09
1-10	B	3'-0" x 7'-0"	1/2" x 1/2" x 1/2" x 1/2"	1-10

