SECTION 00 10 00 - REQUEST FOR BIDS

Bids are requested by Seneca Township High School District No. 160, Seneca, Illinois 61360 for 2025 – Land Lab Building and Site Improvements at Seneca Agricultural Land Lab. Work is to be carried out in accordance with Bidding Documents prepared by BCA Architects, Ltd., 620 West Lafayette Street, Ottawa, Illinois 61350.

Project Description: The project consists of construction of a 60' x 120' pre-engineered composite wood column, wood framed structure with metal siding and metal roofing systems. Site improvements include excavations and fill to accommodate new building. Project consists of gravel parking lot expansion to the west of the existing parking lot and additional work as indicated.

Contract Type: Single prime lump sum contract.

Submission of Bids: Bids will be accepted until 10:00 a.m., March 11, 2025. Bids shall be delivered to the Main Office at Seneca Township High School, 305 East Scott Street, Seneca, Illinois 61360. All bidders shall enter the building through the main entrance on the south side of the building; a district official will escort the bidder to the appropriate location. Bids will be publicly opened at that time.

Pre-Bid Conference: February 26, 2025, at 10:00 a.m. at Seneca Agricultural Land Lab. The site will be available for viewing on this date. Owner reserves the right to disqualify bidders that do not complete a site visit. Additional visits will be at the convenience of the Dan Stecken, Superintendent (815-357-5070) call to schedule visits other than pre-bid conference. Site visits that are not pre-arranged with the school district representative will not be permitted.

Availability of Bidding Documents: Bidding Documents will be available on and after February 20, 2025 and may be examined/obtained at the Architect's online Plan Room at www.bca-architects.com; Greater Peoria Contractors & Supplier Association, 1811 West Altorfer Drive, Peoria, IL 61615; Illinois Valley Contractor's Association, 1120 First St., LaSalle, IL; Contractors Association of Will & Grundy Counties, 233 N. Springfield Ave., Joliet, IL.

Stipulations: Bid security in the amount of five percent (5%) of the Base Bid amount proposed, in the form of a certified check or cashier's check made payable to the Owner, or a Bid Bond, must accompany bids.

Bid security in the amount of five percent (5%) of the Base Bid amount proposed, in the form of a certified check or cashier's check made payable to the Owner, or a Bid Bond, must accompany bids.

Selected bidder is required to provide a satisfactory performance bond and labor & material payment bond covering the full performance of the contract. The costs of the bonds are to be included in each contractor's bid proposal.

Selected Bidders must assure that all persons employed by Bidder, and all applicants for such employment, will not be discriminated against because of their race, creed, color, sex, age or national origin.

Selected bidder will be required to provide documentation of participation in apprenticeship and training programs approved and registered with the United States Department of Labor's Bureau and Apprenticeship and training.

The contractor shall be required to comply with all provisions of the acts of the General Assembly of the State of Illinois related to Wage Rates, Discrimination, Sexual Harassment, Alcohol Use, Preference to Illinois Workmen, Fair Employment Practices Commission, and Equal Employment Opportunity. The Contractor shall be required to comply with the Substance Abuse Prevention on Public Works Act (Public Act 95-0635).

Contractor shall not pay less than the prevailing rates of wages as determined by the Illinois Department of Labor to all laborers, workmen and mechanics performing work under this contract, and shall comply with the requirements of the Illinois Prevailing Wage Act (820 ILCS 130/1-12). All Contractor's bonds shall include a provision as will guarantee the faithful performance of such prevailing wage clause as provided by this bid specification or contract.

Additional information and bidder requirements are included in the Instructions to Bidders and the Bid Documents.

No Illinois O.E. sales tax will be required for this work.

Owner reserves the right to reject any and all Bids, to waive any irregularities in the Bidding, and to award contract in Owner's best interests.

Board of Education Seneca Township High School District No. 160 Seneca, Illinois 61360

END OF SECTION 00 10 00

SENECA AGRICULTURAL LAND LAB 2025 - LAND LAB BUILDING SITE IMPROVEMENTS SENECA TOWNSHIP HIGH SCHOOL

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CIVIL NOTES

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> DESIGN FIRM REGISTRATION NO. 184-002170-0001 ARCHITECT:
>
> BCA ARCHITECTS, LTD.
> 620 WEST LAFAYETTE STREET
> OTTAWA, ILLINOIS 61350
> (815) 434-0108

BUILDING SECTIONS / SCHEDULES BUILDING SECTIONS

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CHAMLINS AND ASSOCIATIES INC. 218 WEST LAFAYETTE STREET OTTAWA, ILLINOIS 61350 (815) 343-7225 CIVIL ENGINEER:



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BUILDING CODE INFORMATION

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The Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022, The "Standard Specifications for Water & Sewer Construction in Illinois" 2020 and the Illinois Plumbing code shall govern opplicable portions of this project.

It shall be the responsibility of the Controctor to examine the Plans and Specifications, with the work site, be informed at the work with the Controctor of detects, substance, and cord loss the responsibility to analy other the cost and/or time to complete the policie. It is the Controctor's responsibility to naily the Engineer should any discerpancies be noticed between the Plans, Specifications, or worksite, to controctor's responsibility to naily. The locobian of a examine automationand overhead utilities if a bown on the Plans is for the convenience of the Contractic only. The Owner analysis should be substantially whitebeers with respect to the accuracy or completeness of the information shown. It shall be the responsibility of the Contractor to determine the actual location of all such utilities.

The Centractor shall be responsible for the proper protection of oil existing public or private roadways, structures, and ubities private to the start of construction and shall be responsible for any demage to said roadways, structures, and utilities. Any readways structure, or utility that is damaged during construction shall be repaired or replaced by the Contractor at the Contractor at the Contractor at the

All field droinage title damaged during construction shall be repaired to the satisfaction of the Engineer or rerouted to a lacation determined by the Engineer, Payment will be made for title repairs via force—account.

Survey control points may be set by the Engineer to establish the horizontal and vertical control required for the construction of the bounds of the control points set. The Engineer shall be responsible for the accuracy of the control points set. The Control control responsibility for all measurements taken set by the Control from control points set by the Engineer shall poster from control points set by the Engineer shall poster from control points set by the Engineer (Shaud other Department of State of the Control points set by the Engineer State of the Control points set by the Engineer state state shall be control point or reference states set by the Engineer state of Control of State of the Control of the Engineer in the Engineer and decirct control point or reference stoke from compensation due the

When the Owner employs multiple Contractors, each Contractor shall conduct his/her work so as to not interfere with or hinder the progress or completion of the wark being performed by other Contractors and or Utility Campanies. ø

Soch Contractor shall assume all liability, financial or otherwise, in connection with his/her confract and shall protect and hold minimass the Owner and Engineer from ony and all domneges or claims that may orise due to inconvenience, delay, or loss experienced by the Confractor caused by the presence and operation of other Contractors and/or Utility Companies working within the limits of the project.

6

10 Traffic control shall be in accordance with applicable partians of the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" adapted January 1, 2022 and the latest edition of the "Illinois Manual for Uniform Institute Control December 10 Statest and Highweys Townson-Tractions and be salely responsible for use of appropriate Illinois Department of Transportation Highwey Standards pertaining to traffic control for the entire duration of the project and solely liable for any accidents, which may accur due to inadequate traffic control.

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ot seeson 11.All readways shall remain open broughout the project unless prior consent is granted by the Owner for any Contractor-requested readway closures. The Contractor shall make arrangements or schedule work so that properties within the work site is maintained at all times.

12. Sail erasion and sediment control shall be in accordance with applicable portions of the Illinais Urban Manual current edition

13. Provisions shall be made to minimize the transport of sediment by vehicular traffic from the construction site. All streets shall be deceased villy or os necessary to keep clean of sediment and debris caused by construction octavities. Adjacent properties shall be protected from sediment deposition by use of an acceptable erasion control practice such as vegatative buffer strips or sediment barriers.

14. For construction sites with one (1) acre or mere of disturbance, all contractors and Sub-Contractors will be required to certify, a Storm Water Pollution Prevention Plan (SWPPP), The SWPPP, if necessary, and all permits pertaining to soil and evolute will be prepared and submitted by the Owner/Engineer.

15 It will be the Contractor/Sub-Contractor's responsibility to implement and follow the SWPPP

16. The Chipters stagl provide construction impaction to oscertain the work is in substantial conformance with the Controct Documents and with the design intent. The Engineer's undertoking shall not relieve the Controctor from the Controctor's elegation to perform work in conformity with the Phons and Specifications and in a workmanite manner; shall not mose the Engineer on insurer of the Controctor's performance; and still not impose upon the Engineer and obligation to ensure that the engineer of a safe manner. The Contractor shall be toldily responsible for safety for this project.

Disposal of demailson and excess excertated shall be in accordance with the "Clean Construction or Demailson Debris" CCOD frequentments. It will be the conflorior responsibility to arrange the necessary testing for any CCDD material. This cost will be considered inclinated in the conflorior.

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LAND LAB BUILDING AND SITE IMPROVEMENTS

TOPO SURVEY NOTES

Existing conditions are based on topo survey performed by Chamlin & Associates in October 2024

The Contractor shall verify all existing conditions in the field

Basis of Bearing: Grid North of Illinois State Plane Coordinate System, East Zone

Verlical Datum: NAVD 88 (GPS Obtained)

AUCREDATE SURFACE COURSE

Any disturbed arrivs not designated to receive impervious surface improvement or landscaping shall receive 6 topsoil and seeding as oblious. Seeding stall be Class 1A in accordance with Section 250 of the 1001 Standard Specifications. It:11 or of N=P=X fertilizer shall be applied at a total rate of 20 LB per acre in accordance with Section 250, Mulch shall be Method 2, mechanically stabilized in accordance with Section 251. Areas designated on Pions shall have aggregate subser course installed in accordance with details shown on the Plans. Aggregate Surface Course type B to shall be installed in accordance with Section 402 of the IDDT Standard Specifications. Glassest shall be IDDT Gradulan CA-6, caused Impations only. TURF RESTORATION

Disturbed oreas shall include all bare solds as well as any uneas that have been disturbed by incidental censtruction operations that we regarding and/or intersecting as directed by the Engineer. Topool shall be sourced from ensity stockpile generated from construction of from restand official ensures. Topool shall be placed in accordance with Sections 211 and 212 and sneebed shall be prepared in accordance with Section 250.

STORM SEWERS

Storm severs shown on Plons shall be constructed in accordance with 100T Section 550. Materials shall be as noted on the Plons. All ADS fittings shall be caseled in accordance with ASTM F477. Trench backfill shall be installed in pipe trenches under and within Z of all aggregate drives and porming areas. Terms backfill shall be compacted CA-7 stone.

SULDING PAD PREPARATION

Building lootprint shall be stripped of all topsoil, subgrade then prepared in accordance with IDOT Section 205, then built up to find elevation using 8' compacted lifts of CA-6 stone. Topsoil thickness measurements are shown on Plans.

EYO VEC

Material





620 W. Lafayette Street Ottawa, Illinois 61350 Pl 815.434.0108

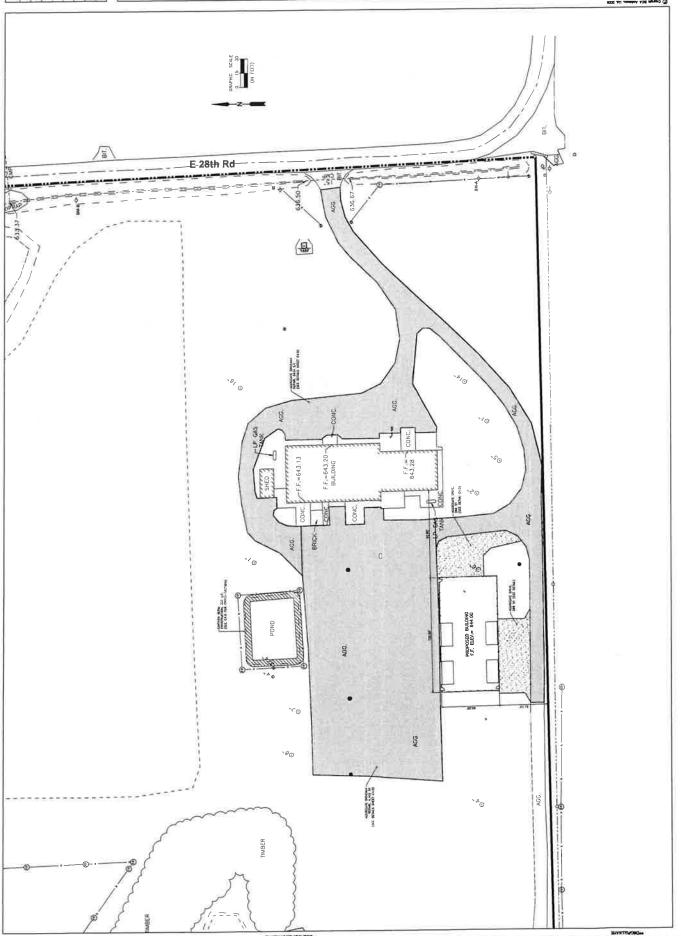
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2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS







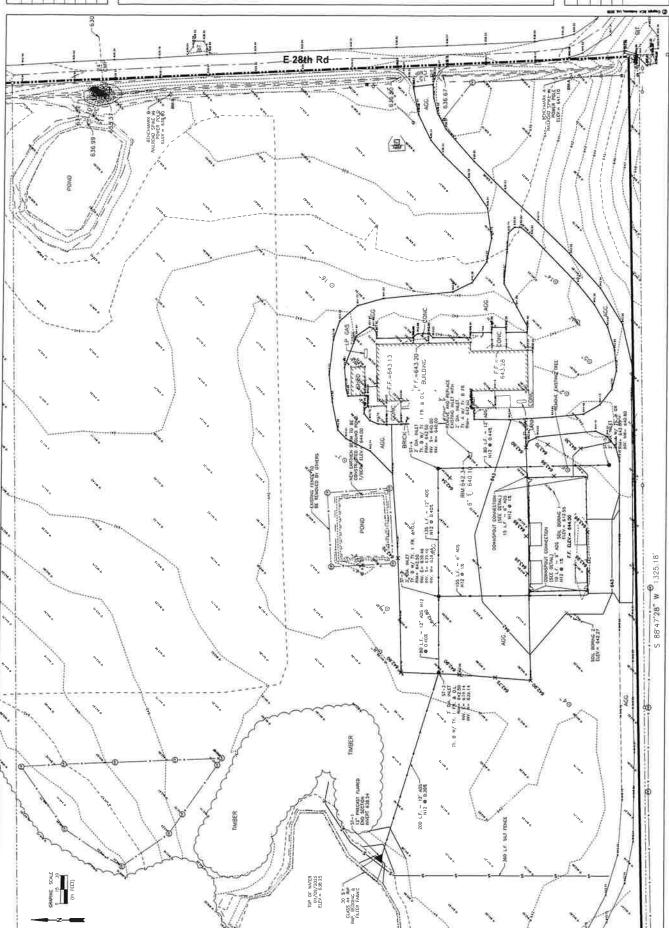
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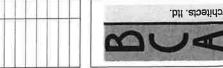
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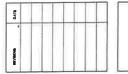
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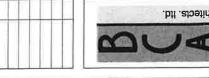
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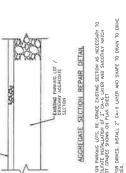
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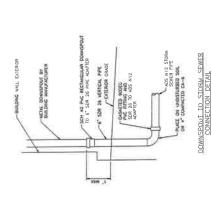


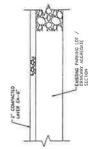




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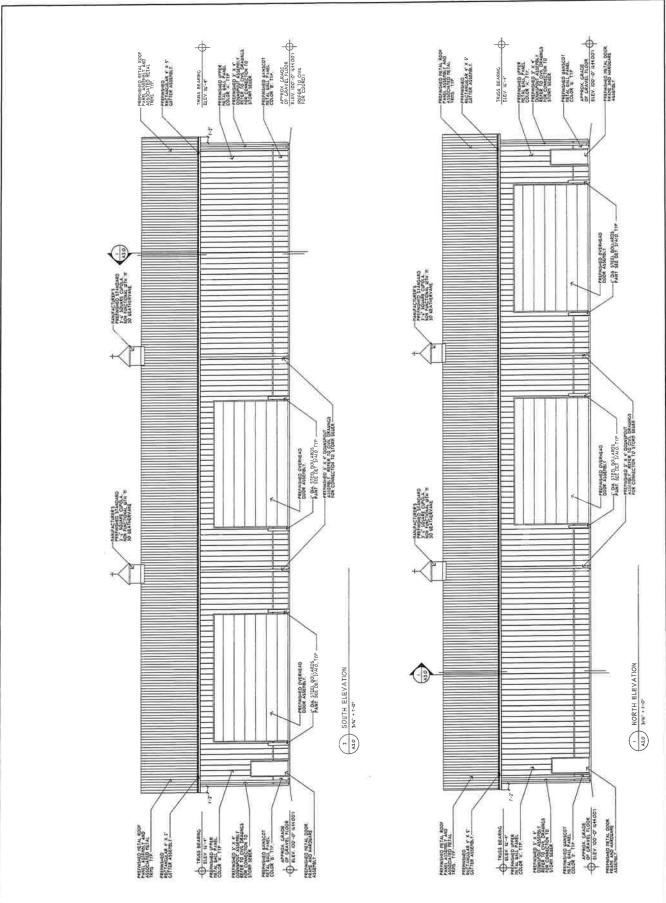
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2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS



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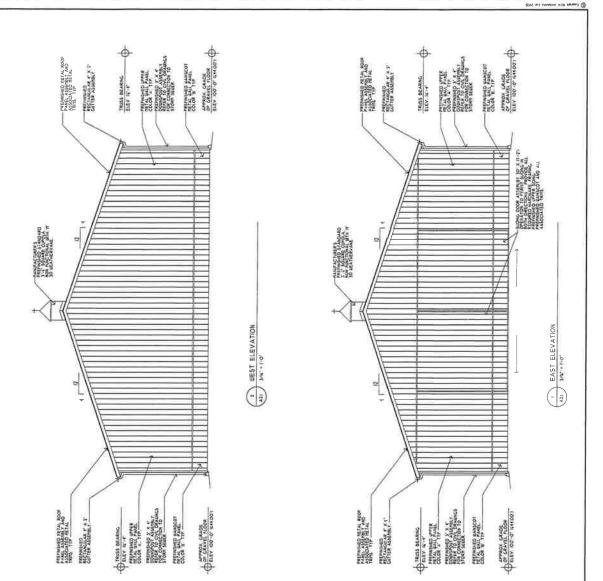
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FOR 2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS







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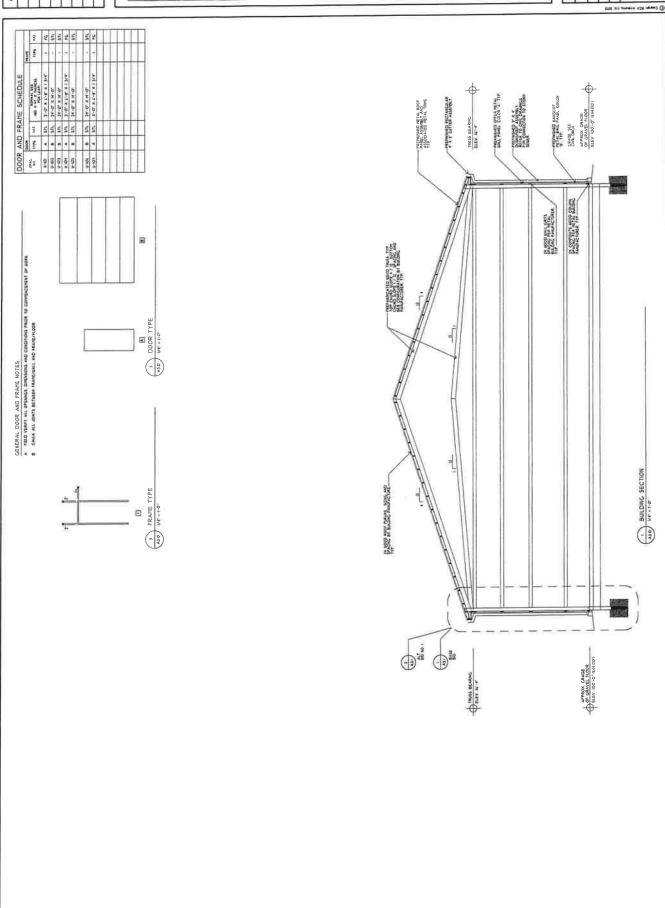
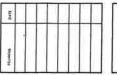


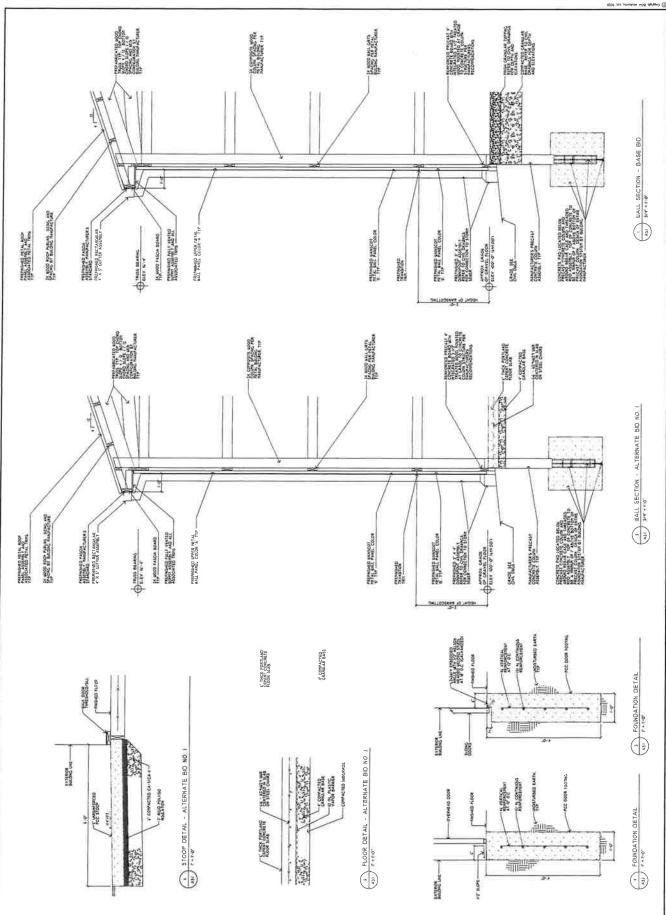
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2025 - LAND LAB BUILDING AND SITE IMPROVEMENTS

620 W. Lafayette Streel Ottawa, Illinois 61350 Pl 815,434.0108 bca-architects.com





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COVER SHEET

CIVIL NOTES

CIVIL DETAILS

FLOOR PLAN

DESIGN FIRM REGISTRATION NO. 184-002170-0001 BCA ARCHITECTS, LTD 620 WEST LAFAYETTE STRÉET OTTAWA, ILLINOIS 61350 (815) 434-0108

CHAMLINS AND ASSOCIATIES INC. 218 WEST LAFAYETTE STREET OTTAWA, ILLINOIS 61350 (815) 343-7225 CIVIL ENGINEER



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SITE LOCATION MAP

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- Harden's Carlott That Ties Presidents Ago (Percentron): Anna Percentron (Anna Percentron): Ago (Angel Ferse to Many Tropical Carlott (Angel Fers LICENSED ARCHITECT/ ENGINEER'S CERTIFICATION SIGNATURE

OCCUPANCE CLASSPICATION CARDS IL UTILITY AND MICE.

FLOOR AREA

EDITION

BUILDING CODE INFORMATION

DATE

BATE OF EXPRATION

PANEL OF THE PANEL 520 W, Lafayetta Street Ottawa, Illinoia 61350 P| 815,434,0108 SEMECA, ILLINOIS LIBLO
2417 E. 28TH ROAD
5417 E. 28TH ROAD architects, Itd. NOTES AGRICULTURAL LAND LAB LAND LAB BUILDING AND SITE IMPROVEMENTS - 97.07

The Illinas Department of Transportation "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022. The "Standard Specialcons for Water & Sewer Construction in Illinais" 2020 and the Illinais Plumbing code shall govern oppicable portions at this project. GENERAL NOTES
The Illinor Depart
The "Stondard St

It shall be the responsibility of the Contractor to examine the Plans and Specifications, visit the work site, be informed or the work site, be informed of lodered, stroke, and local losers, held code requirements, orderones, rules and requisitions, and only other internal may office the cost and/or time to complete the project. It is the Contractor's responsibility to neltify the Enpireer should any discrepancies be noticed between the Plans, Specifications, or worksite. It is the Contractor's responsibility to neltify the Enpire and the plans is the the coverence of the Contractor only. The Owner and/or Enpire assumes no despensability voltablewers with respect to the occuracy or completeness of the information shown. It shall be the responsibility of the Contractor to determine the ectuacy or completeness of the information shown.

The Contractor shall be responsible for the proper protection of all existing public or private roodways, structures, and ultities give to the start of construction and shall be responsible for any damage to said rootways, structures, and ultimities. Any teadway, structure, or utility that is domaged during construction shall be repoired or replaced by the Contractor at the Contractor at the

All field drainage tile damaged during construction shall be repaired to the solistaction of the Engineer or rerouted to a location determined by the Engineer. Payment will be made for tile repairs vio force-account,

Survey control points may be set by the Engineer to establish the horizontal and vertical control required for the construction for the various of the vertical control points and the vertical representation of measurements the derived by the Control points are by the Engineer shall passed and presented to an expensionally of an operation points are by the Engineer shall passed the point of the vertical points of the vertical points of the vertical points of the vertical point of reference state when the prior approach of the Control control point or reference state when the prior approach of the Control Control point or reference state when the prior approach or reference state in the re-establishment of the control point or reterence state from compensation due the direct Control control point or reterence state from compensation due the

When the Owner employs multiple Contractors, each Contractor shall conduct his/her work so as to not interfere with or hinder the progress or completion of the work being performed by other Contractors and or Utility Companies. В

Each Contractor shall ossume all liability. Infancial or otherwise, in connection with his/her contract end shall protect and hold more state forgener from only and all demages or claims that may arise due to inconvenience, delay, or loss experienced by the Contractic coursed by the presence and operation of other Contractics and/or Utitity Companies varieties within the limits of the project.

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STISTAGGEROOKSEG**

Traffic control shall be in accordance with applicable partions of the lilinois Department of Transportation. "Standard Specifications for Road and Bridge Construction," adopted, January, 2022 and the latest edition of the "Illinois Manual Lufsiam Indire Central Devices for Stretts and Highways." The Contrator shall be solely responsible for use of oppropriate infinition to department of Transportation Highway Standards partnamed to Traffic control. In Critic control in the entire duration of the project and salely labele for use of the project and salely labele for use of the project and salely labele for the interpretation of the project and salely labele for the interpretation of the project and 0

All roadways shall remain open throughout the project unless prior consent is gronted by the Owner for any Contractive requisites throughout. The Contractics and make arrangements or schedule work so that access to properties within the work side is institutional at all times.

12, Sail erasion and sediment control shall be in accordance with applicable portions of the Illinois Urban Manual current edition

Provisions shall be made to minimize the trompost of sediment by vehicular traffic from the construction site. All streets shall be protected from sediment does be constructed and cloth's course by construction activities. Adjacent properties shall be protected from sediment deposition by use of an acceptable erosion central practice such as vegetative buffer strips or sediment barriers.

For construction state with one (1) acre or more of distributiones, all Contractors and Sub-Contractors will be required to certify a Storm Water Pollution Prevention Plan (SUPPP). The SupPrp. if necessary, and all permits pertaining to sail and crossine central will be proposed and submitted by the Owint-Propincer.

Its, The Engineer shall provide construction inspection to ascertain the work is in substantial conformance with the Contract.

Documents and with the design intent. The Engineer's undertaking shall not relieve the Contractor from the Contractor's obligation to perform work in conformity with the Plans and Specifications and in a workmanifier manner; shall not make the Engineer on insurer of the Contractor, and shall not impose upon the Engineer any obligation to ensure that the work is performed in a safe manner. The Contractor shall be totally responsible for safety for this project. 15 It will be the Contractor/Sub-Contractor's responsibility to implement and follow the SWPPP.

Disposal of demonition and excess excavated material shall be in accordance with the "Clean Construction or Demolition Debris" (CDD) requirements, It will be the controllers responsibility to arrange the necessary testing for any CCDD material. This cost will be considered incidental to the control.

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MANAGEMENT AND ADDRESS OF THE PARKS OF THE P

TOPO SURVEY NOTES

Existing conditions are based on lopo survey performed by Chamlin & Associates in October 2024 The Contractor shall verify all existing conditions in the field.

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Physical

Basis of Bearing: Grid North of Illinois State Plane Coordinate System, East Zone

Vertical Datum: NAVD 88 (GPS Obtained)

AGOREGATE SURFACE COURSE

Arges designated on Plans shall have approach suface course installed in accordance with details shown on the Plans Aggregate Surface Dourse they as that the intelligent in accordance with Section 402 of the IDOT Standard Specifications, Material allowed shall be IDOT Standard Specifications, Material allowed shall be IDOT Standard Specifications, Material allowed shall be IDOT Standard Specifications. Any disturbed areas not designated to receive impervious surface improvement or landscaping shall receive 6" topsoil and seeking of tolows. Seeking shall be Class 1.h in accordance with Section 250 of the IDDI Standard Specifications. 1::11 of N-P-A' feetilizer shall be applied at a total rate of 270 LB per acre in accordance with Section 250. Mulch shall be Method 2, mechanically stabilized in accordance with Section 251. TURE RESTORATION

Disturbed areas shall include all bare soils as well as any areas that have been disturbed by incidental construction operations that will require responding and/or interested of sinced by the Engineer Toppol shall be sourced from onsite stockpile operacted from construction of from tested offisies acure. Topsoil shall be placed in accordance with Sections 211 and 212 and seedbed shall be prepared in accordance with Section 250.

STORM SEWERS

Storm severa shown on Plans, shall be constructed in occordance with IDOT Section 550. Materials shall be as noted on the Plans. All ADS littings shall be gasketed in accordance with ASTM F472. Trench backfill shall be installed in pipe trenches under and within 2" of all aggregate drives and parking areas. Trench backfill shall be compacted CA-7 stone

BUILDING PAD PREPARATION

Building footprint shall be stripped of all topsoil, subgrade then prepared in accordance with 100T Section 205, then built up to find elevation using 8° compacted lifts of CA—6 stone, Topsoil thickness measurements are shown on Plans,

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24.1 E. 28TH ROAD

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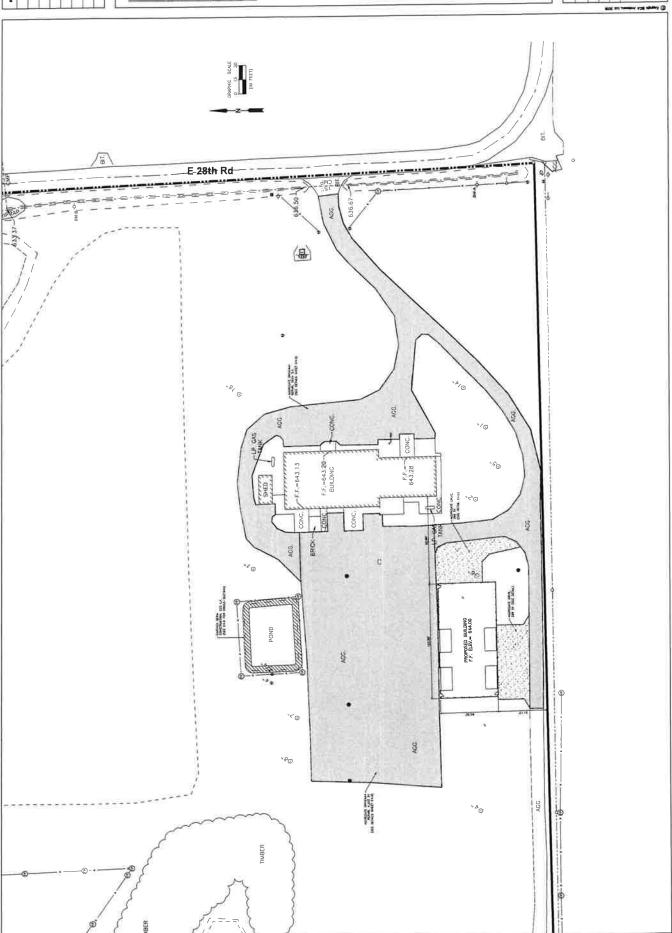
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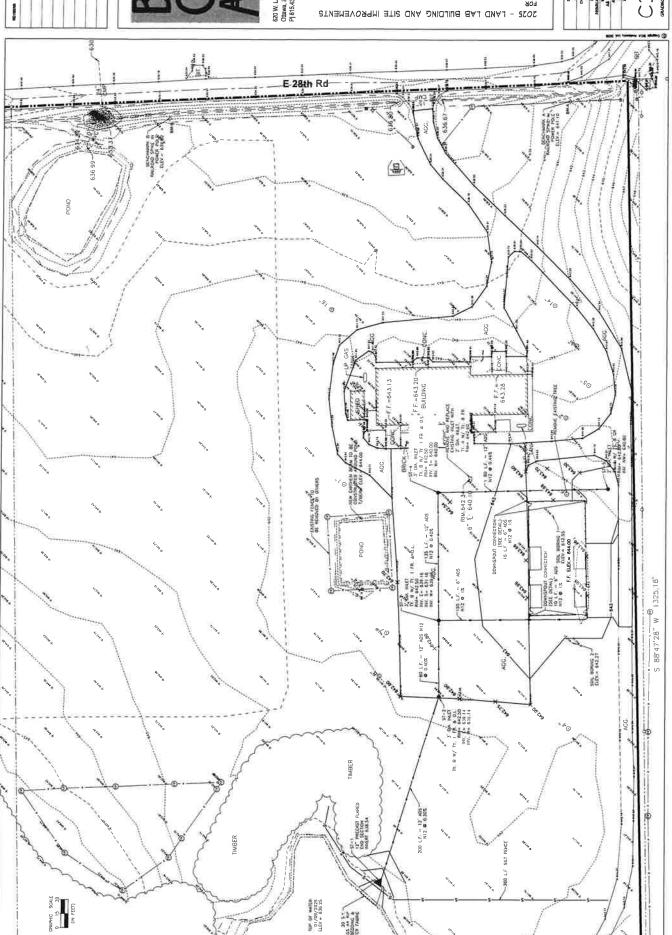
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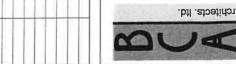
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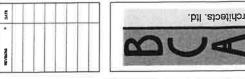
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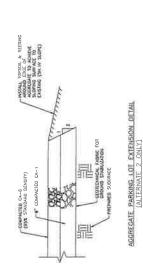
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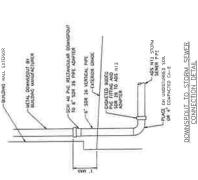


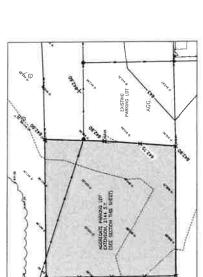










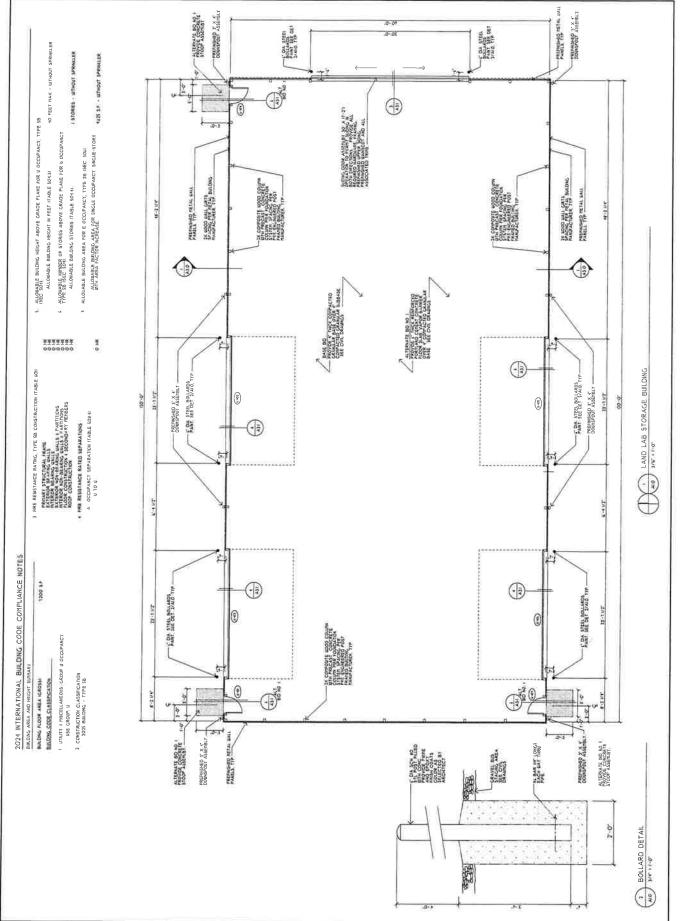


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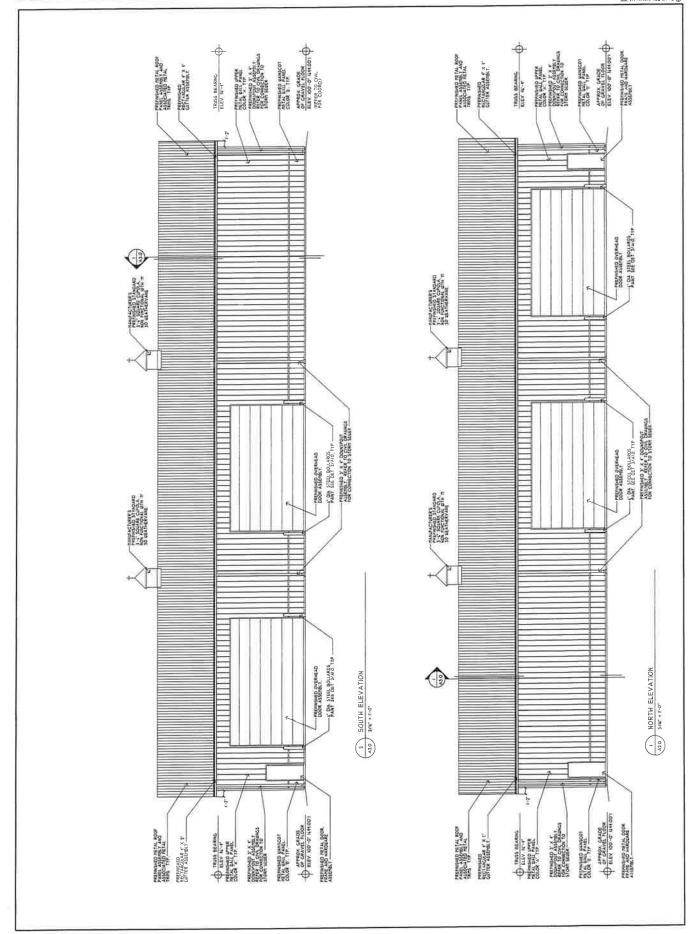
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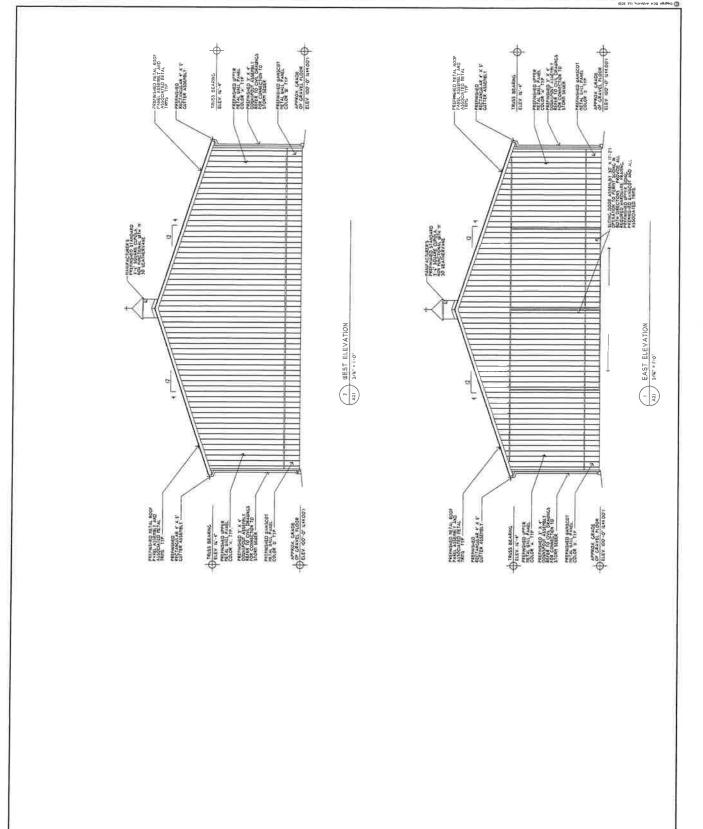




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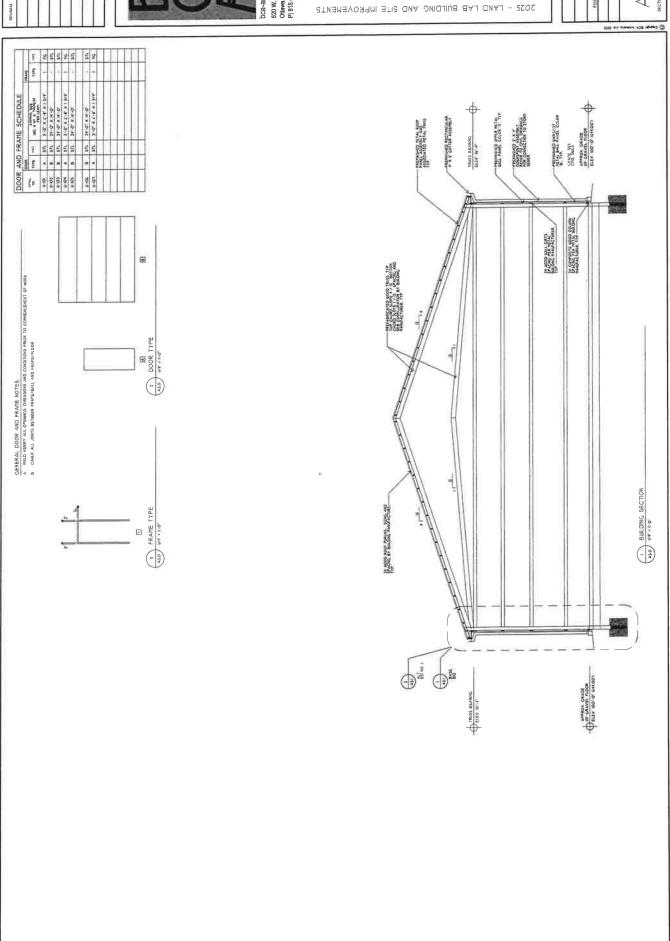






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